

GRANT OF CONSERVATION EASEMENT

This Grant of Conservation Easement ("Grant"), is given as of _____, 2015 by the City of Parma, Ohio ("Grantor") in favor of the Parma Community Improvement Corporation ("Grantee").

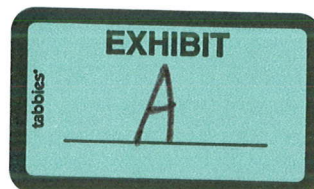
Grantor owns certain real property in fee simple situated in Parma, Ohio known as Permanent Parcel Nos. 446-13-059 and 446-13-060, legally described on Exhibit A and depicted on Exhibit B attached hereto (collectively, "Protected Property"). Grantee desires to protect the Protected Property which has substantial values as scenic, natural, aesthetic and educational resources in its present state (collectively, "Conservation Values").

Grantor, for good and valuable consideration, the receipt and sufficiency of which are acknowledged, does hereby grant, transfer and convey to Grantee the right to preserve and protect the Conservation Values of the Protected Property in perpetuity, together with the right of access, and of visual access to and view of the Protected Property in its existing natural and scenic condition pursuant to a conservation easement ("Conservation Easement") entered into with a duly qualified Ohio non-profit corporation which is eligible to hold a conservation easement under the laws of the State of Ohio ("Qualified Conservation Organization").

TO HAVE AND HOLD the Conservation Easement unto Grantee, its permitted successors and assigns forever. The covenants agreed to and the terms, obligations, conditions, restrictions, and purposes imposed as aforesaid, shall be binding upon and inure to the benefit of Grantor and Grantee, their respective grantees, successors and assigns, and all other successors in interest, and shall continue as a servitude running in perpetuity with the Protected Property.

This Grant constitutes a real property interest immediately vested in Grantee.

- 1 -



Westcor Land Title Insurance Company

Commitment Number: 15-04-3014P

SCHEDULE A

1. Effective Date: April 30, 2015 at 07:59 AM
2. Policy or Policies to be issued: Amount
 - (a) X Owner's Policy (ALTA Own. Policy (06/17/06)) \$ 10,000.00
Proposed Insured:
West Creek Preservation Committee
 - (b) Loan Policy (ALTA Loan Policy (06/17/06))
Proposed Insured:
3. The estate or interest in the land described or referred to in this Commitment is Grant of Conservation Easement.
4. Title to the Grant of Conservation Easement estate or interest in the land is at the Effective Date vested in:
The City of Parma, as to Parcel No. 446-13-060 and City of Parma, an Ohio Municipal Corporation, as to Parcel No. 446-13-059
5. The land referred to in the Commitment is described as follows:
Situating in the City of Parma, County of Cuyahoga and State of Ohio: and known as being Sublot No. 3 in Stefanik Home Builders Subdivision No. 3 of part of Original Parma Township Lot No. 15, Blake Tract, as shown by the recorded plat in Volume 174 of Maps, Page 15 of Cuyahoga County Records, and being 62 feet front on the Southerly side of Wales Avenue and extending back 127.205 feet on the Westerly line, 127.19 feet on the Easterly line and having a rear line of 62 feet, as appears by said plat, be the same more or less, but subject to all legal highways.
Permanent Parcel No. 446-13-059

Situating in the City of Parma, County of Cuyahoga and State of Ohio: and known as being part of Original Parma Township, Lot No. 15, Blake Tract, and bounded and described as follows:
Beginning on the Northerly line of Grantwood Drive, (80 feet wide) at a point distant Easterly measured along said Northerly line, 2411.22 feet from the intersection with the centerline of State Road, (80 feet wide);
Thence Northerly and parallel with the said centerline of State Road, about 257.19 feet to a point on the Southerly line of Wales Avenue as dedicated in Volume 157, Page 13 of Cuyahoga County Map Records;
Thence Easterly along the said Southerly line of Wales Avenue, 10.00 feet to a point;
Thence Southerly and parallel with the said centerline of State Road, 257.19 feet to a point on the said Northerly line of Grantwood Drive;
Thence Westerly along the said Northerly line of Grantwood Drive, 10.00 feet to the place of beginning;
The above described premises are further known as being Block "A" in Stefanik Home Builders Inc. Subdivision No. 3, as shown by the recorded plat in Volume 174 of Maps, Page 15 of Cuyahoga County

Commitment Number: 15-04-3014P

SCHEDULE A
(Continued)

Records, be the same more or less, but subject to all legal highways.

Permanent Parcel No. 446-13-060

Westcor Land Title Insurance Company

By: _____

Innovative Title and Escrow Services, LLC

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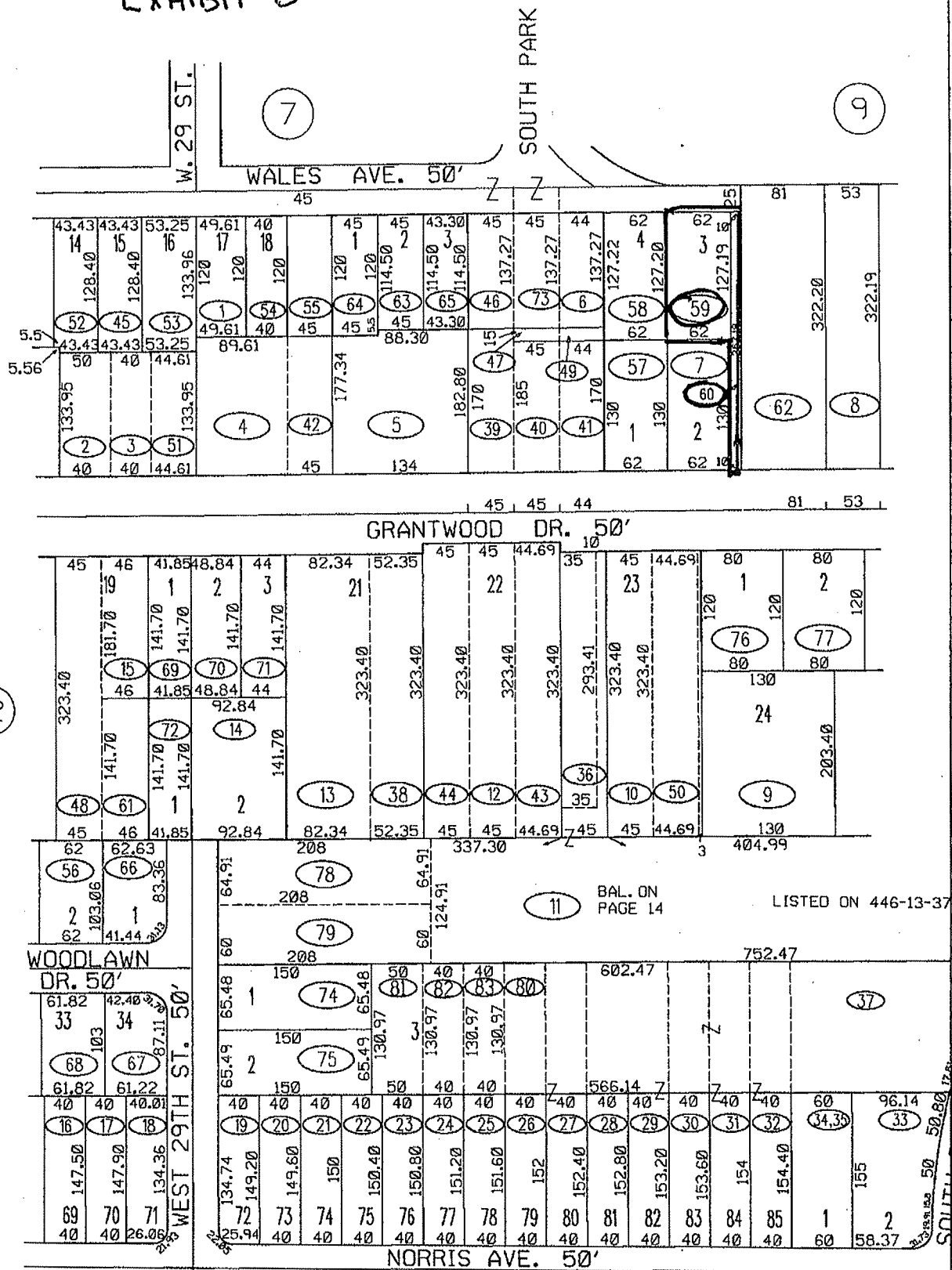
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(15-04-3014P.PFD/15-04-3014P/10)

EXHIBIT B



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GRANT OF CONSERVATION EASEMENT

This Grant of Conservation Easement ("**Grant**"), is given as of _____, 2015 by the City of Parma, Ohio ("**Grantor**") in favor of the Parma Community Improvement Corporation ("**Grantee**").

Grantor owns certain real property in fee simple situated in Parma, Ohio known as Permanent Parcel No. 452-26-010 and portion of Permanent Parcel No. 452-25-044, legally described on Exhibit A and depicted on Exhibit B attached hereto (collectively, "**Protected Property**"). Grantee desires to protect the Protected Property, which has substantial values as scenic, natural, aesthetic and educational resources in their present state (collectively, "**Conservation Values**").

Grantor, for good and valuable consideration, the receipt and sufficiency of which are acknowledged, does hereby grant, sell and convey to Grantee the right to preserve and protect the Conservation Values of the Protected Property in perpetuity, together with the right of access, and of visual access to and view of the Protected Property in its existing natural and scenic condition pursuant to a conservation easement ("**Conservation Easement**") entered into with a duly qualified Ohio non-profit corporation which is eligible to hold a conservation easement under the laws of the State of Ohio ("**Qualified Conservation Organization**")

TO HAVE AND HOLD the Conservation Easement unto Grantee, its permitted successors and assigns forever. The covenants agreed to and the terms, obligations, conditions, restrictions, and purposes imposed as aforesaid, shall be binding upon and inure to the benefit of Grantor and Grantee, their respective grantees, successors and assigns, and all other successors in interest, and shall continue as a servitude running in perpetuity with the Protected Property.

This Grant constitutes a real property interest immediately vested in Grantee.

Grantee shall have the right to transfer the Conservation Easement to a Qualified Conservation Organization which is eligible to hold a conservation easement for the preservation and protection of the Conservation Values under the laws of the State of Ohio.

This Grant will be filed and recorded with the Cuyahoga County Recorder's Office by Grantee.

IN WITNESS WHEREOF, Grantor sets his hand this _____ day of _____, 2015.

Grantor: City of Parma

By: _____
Mayor Timothy DeGeeter

STATE OF OHIO)
) ss:
COUNTY OF CUYAHOGA)

The foregoing instrument was acknowledged before me this _____, 2015 by Mayor Timothy DeGeeter, on behalf of the City of Parma.

Notary Public

This Instrument Prepared by:
Christopher E. Soukup, Esq.
925 Euclid Avenue, Suite 2020
Cleveland, Ohio 44115-1441
216.781.5470
fax: 216.781.0714
ces@zieglermetzger.com

Westcor Land Title Insurance Company

Commitment Number: 15-04-3012P

SCHEDULE A

1. Effective Date: April 28, 2015 at 07:59 AM
2. Policy or Policies to be Issued: Amount
 - (a) X Owner's Policy (ALTA Own. Policy (06/17/06)) \$ 67,000.00
Proposed Insured:
West Creek Preservation Committee
 - (b) Loan Policy (ALTA Loan Policy (06/17/06))
Proposed Insured:

3. The estate or interest in the land described or referred to in this Commitment is Grant of Conservation Easement.
4. Title to the Grant of Conservation Easement estate or interest in the land is at the Effective Date vested in:
The City of Parma, Ohio, a Municipal Corporation

5. The land referred to in the Commitment is described as follows:

Permanent Parcel No. 452-25-044

Situated in the City of Parma, County of Cuyahoga and State of Ohio, and known as being part of Original Parma Township Lot No. 31, Ely Tract, and bounded and described as follows:

Beginning in the centerline of Pleasant Valley Road as shown on the dedication plat recorded in Volume 130 of Maps, Page 622 of Cuyahoga County Records, at the Southeasterly corner of land conveyed to the City of Parma by Deed dated March 8, 1968 and recorded in Volume 12306, Page 331 of Cuyahoga County Records; thence Easterly along the centerline of Pleasant Valley Road on a curve deflecting to the left an arc distance of 66.355 feet to a point of tangency, said arc having a radius of 1909.86 feet and a chord which bears South 89° 00' 17" East, 66.35 feet;

Thence due East along said centerline a distance of 103.66 feet to the principal place of beginning of the premises herein intended to be described;

Course No. 1: Thence due North a distance of 355.00 feet to a point;

Course No. 2: Thence North 36° 00' 00" West a distance of 273.65 feet to a point;

Course No. 3: Thence North 50° 01' 14" East a distance of 382.03 feet to the intersection with the Northwestern prolongation of the Southwesterly line of Parcel No. 1 of land conveyed to the Board of Education of the Parma City School District by Deed dated April 20, 1967 and recorded in Volume 12113, Page 363 of Cuyahoga County Records;

Course No. 4: Thence South 36° 00' 00" East along said Northwestern prolongation and along said Southwesterly line a distance of 294.44 feet to the most Northerly corner of land conveyed to the Board of Education of the Parma City School District by Deed dated June 19, 1967 and recorded in Volume 12129, Page 795 of Cuyahoga County Records;

Course No. 5: Thence due South along the Westerly line of land conveyed to the Board of Education of

Commitment Number: 15-04-3012P

SCHEDULE A
(Continued)

the Parma City School District as last aforesaid a distance of 383.23 feet to an angle point;

Course No. 6: Thence South 36° 00' 00" East along the Southwesterly line of land so conveyed a distance of 127.60 feet to the most Southerly corner thereof and the Westerly line of land conveyed to the Board of Education of the Parma City School District by Deed recorded in Volume 12113, Page 363 of Cuyahoga County Records as first aforesaid;

Course No. 7: Thence due South along the Westerly line of land so conveyed a distance of 96.77 feet to the centerline of Pleasant Valley Road;

Course No. 8: Thence due West along the centerline of Pleasant Valley Road a distance of 380.01 feet to the principal place of beginning.

Excepting from the above described premises that part which lies within the bounds of Pleasant Valley Road as shown on the dedication plat for the widening of Pleasant Valley Road, recorded in Volume 182 of Maps, Page 24 of Cuyahoga County Records, be the same more or less, but subject to all legal highways.

Permanent Parcel No. 452-26-010

Situated in the City of Parma, County of Cuyahoga and State of Ohio: and indicated on the Cuyahoga County Auditor's Records as Permanent Number 452-26-010 and known as being part of Original Parma Township Lot No. 28, Ely Tract, and bounded and described as follows:

Beginning at the Southeasterly corner of said Original Lot No. 28; Thence Westerly along the Southerly line of said Original Lot No. 28, about 1009.18 feet to the Southeasterly line of the Gulfedge Subdivision No. 3, as shown by the recorded plat in Volume 187 of Maps, Page 11 of Cuyahoga County Records; Thence Northeasterly along the Southeasterly line of said Subdivision, 792.45 feet to the Southwesterly line of the Gulfedge Subdivision No. 7, as shown by the recorded plat in Volume 199 of Maps, Page 22 of Cuyahoga County Records; Thence Southeasterly along the Southwesterly line of Gulfedge Subdivision No. 7, 289.57 feet to an angle therein; Thence Easterly along the Southerly line of Gulfedge Subdivision No. 7, 147.92 feet to the Easterly line of said Original Lot No. 28; Thence Southerly along the Easterly line of said Original Lot No. 28, about 363.91 feet to the place of beginning, be the same more or less, but subject to all legal highways.

Westcor Land Title Insurance Company

By: 

Innovative Title and Escrow Services, LLC

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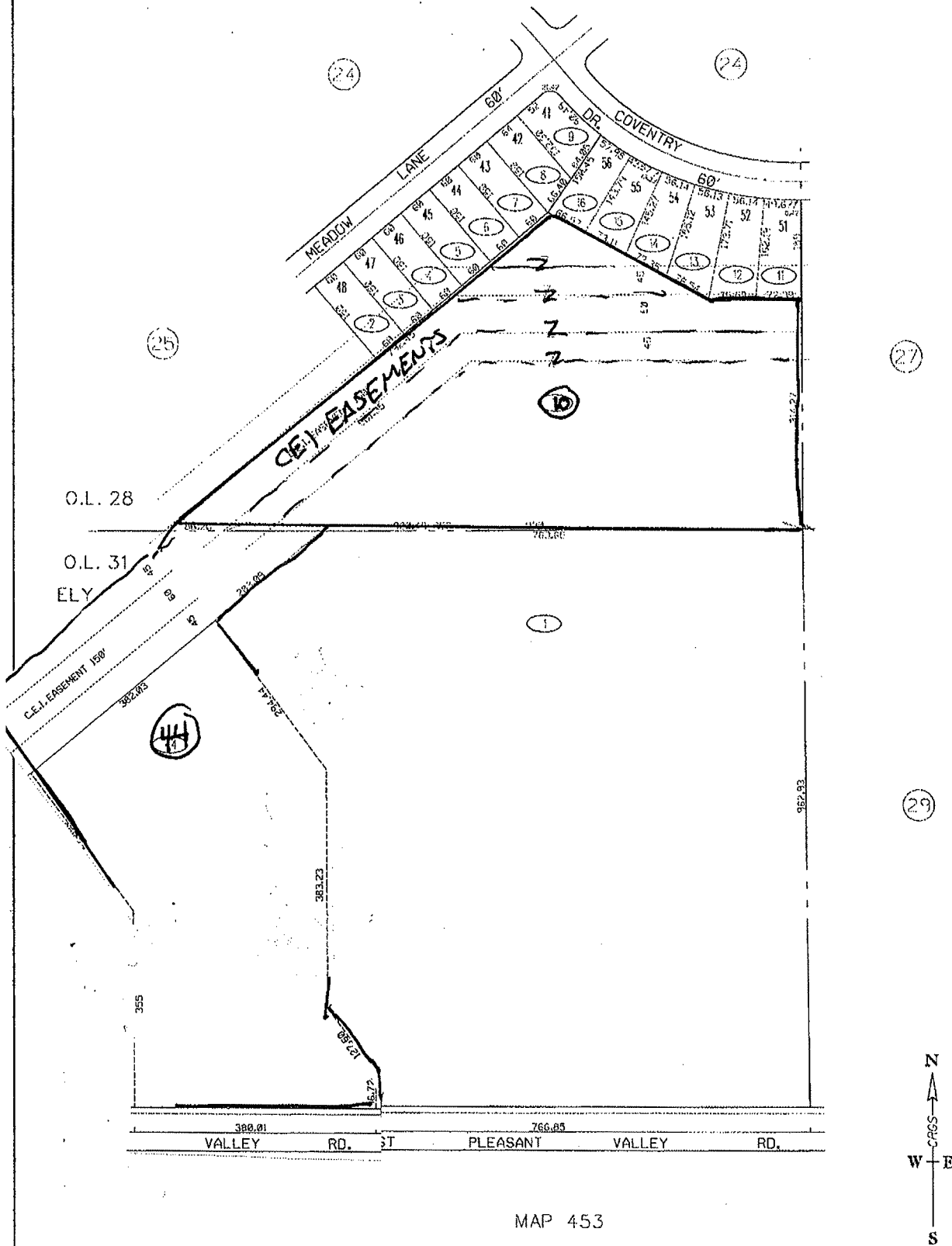


(15-04-3012P.PFD/15-04-3012P/27)

26

GULFEDGE SUBD. NO. 3 V.187 P.11,12
GULFEDGE SUBD. NO. 7 V.199 P.22,23

EXHIBIT B



PARMA MAP 452

SCALE: 1" = 100'
50 0 100 200

DRAWN: DEC. 1988
REVISED: